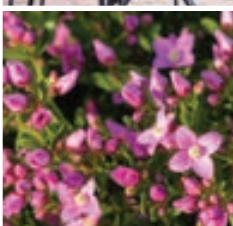


# Design Guidelines







*Balwyn Private Estate is a high quality residential development located within the idyllic Swan Valley. The Estate has been designed having regard to the agricultural history of the site whilst also retaining and protecting areas of native vegetation, including fauna habitat trees, within parks. These Design Guidelines will assist you in designing your home to ensure it reflects the attributes and aesthetic of the Estate.*







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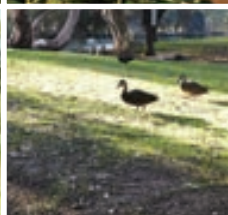
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## 1.1 Purpose of the Design Guidelines and How to Use Them

These Design Guidelines have been created to ensure that your residence will be consistent with the vision for Balwyn Private Estate, and in return, by complying with these Guidelines, your residence will help contribute to the high quality aesthetic of the neighbourhood at Balwyn Private Estate.

These Guidelines provide two tiers of information to help guide you through the design of your residence. The first is a general description and objectives, which are provided as an informative tool only. The second is Restrictive Covenants, which are mandatory requirements that you must comply with in order to gain Developer Approval. The Restrictive Covenants are labelled as such and separated from the general text, to highlight their location throughout these Guidelines.

Please note that these Guidelines have been prepared to complement the Restrictive Covenants.

## 1.2 Minimum Habitable Areas

A major requirement of our design guidelines is establishing minimum habitable areas to ensure all residents effectively use the land available.

When your property is 480 square metres or less, you will be required to construct a minimum habitable area of 130 square metres. When your property is greater than 480 square metres, you will be required to construct a minimum habitable area of 150 square metres. These measurements exclude patios, balconies and other non-living areas.

## 1.3 The Developer Approval Process

In order to obtain Developer Approval, it is necessary to demonstrate compliance with these Guidelines.

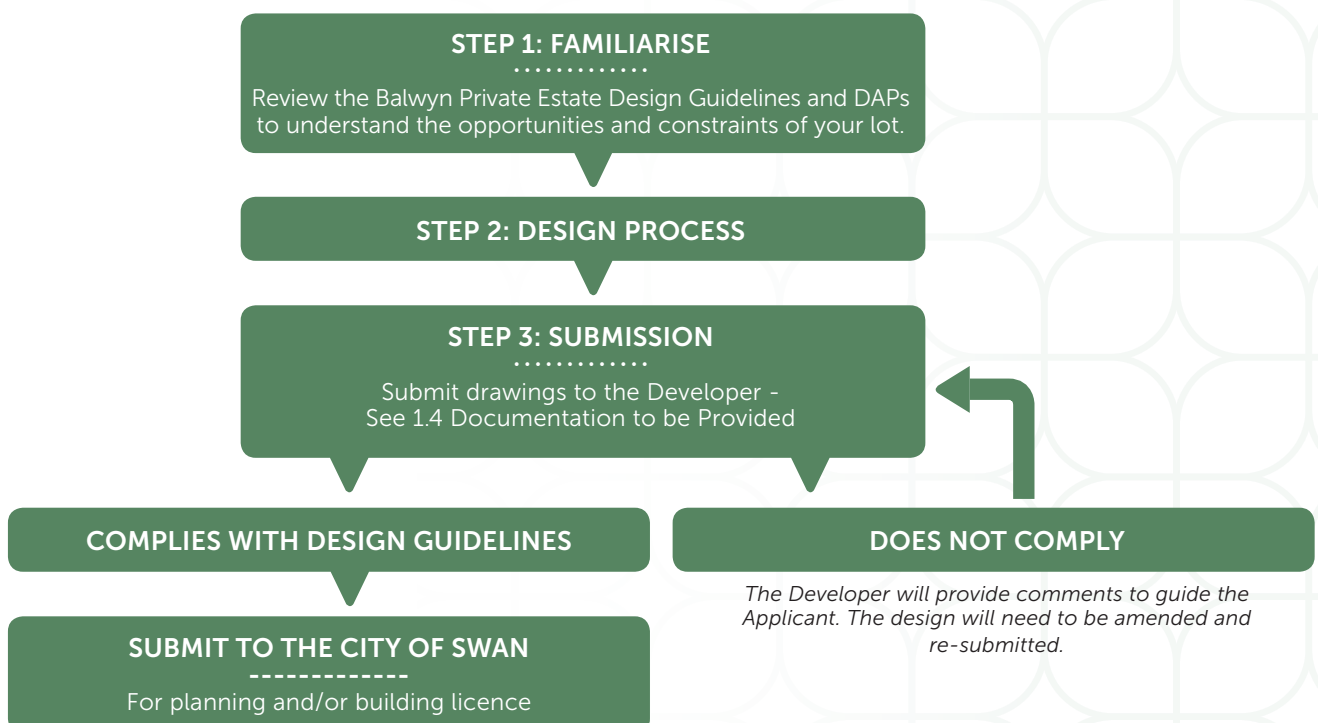
The below diagram demonstrates the process for obtaining the necessary approvals from both the Developer and the relevant local authority.

### RESTRICTIVE COVENANT

#### Minimum Habitable Area

4.3 Where the area of the Property is no more than 480 square metres, the minimum living area of the Residence (measured using the outside dimensions of the walls enclosing the dwelling) is 130 square metres, exclusive of patios, balconies, verandahs, storage areas, workshops, pergolas and any attached garage or outbuilding, unless the Lot is a multi-residential Lot.

4.4 Where the area of the Property is more than 480 square metres, the minimum living area of the Residence (measured using the outside dimensions of the walls enclosing the dwelling) is 150 square metres, exclusive of patios, balconies, verandahs, storage areas, workshops, pergolas and any attached garage or outbuilding, unless the Lot is a multi-residential Lot.



\* The design is reviewed against the Design Guidelines and Checklist, see Annexure C. The drawings will be endorsed and returned to the Applicant.

### 1.4 Restrictive Covenant Definitions

As outlined in the preceding section, there are extracts of the Balwyn Private Estate Restrictive Covenants contained within these Guidelines. To help understand the meaning of these Restrictive Covenants, definitions for certain terms are provided below. The full text of the Restrictive Covenants is set out in a separate Annexure and these should be referred to for detailed obligations of the Parties.

**Date of Settlement** shall mean the date of payment of the purchase price and transfer of the Property to the Buyer.

**Occupation** shall mean the date when the Residence becomes permanently inhabited.

**Properly Landscaped** shall mean cleared and grassed, planted or otherwise covered with a vegetated and/or other beautifying material.

**Public View** shall mean the view of the Residence from any public street, public thoroughfare or public open space.

**Residence** shall mean a permanent, non-transportable residential dwelling.

### 1.5 Documentation to be Provided

So that we can assess your application quickly and easily, please ensure the following is provided as a complete package at the time of submitting your application for Developer Approval.

1. Two copies of your site plan at 1:200 scale
2. Two copies of your floor plan(s) at 1:100 scale
3. Two copies of front and side elevations at 1:100 scale
4. A material and colour schedule for the front elevation showing where selected colours and finishes will be used
5. A completed Developer Approval Application Checklist

A copy of the Developer Approval Application Checklist for Balwyn Private estate is appended to these Guidelines.

We may request additional information or further clarification to support the application. Please note, only one set of amended plans can be lodged. The lodgement of any additional amended plans, whether required by the Developer or the applicant, will incur an additional fee of \$500 to assess.

### 1.6 Detailed Area Plans (DAPs)

Balwyn Private Estate has been carefully considered and designed to provide a high quality environment for its residents.

To help achieve this outcome, Detailed Area Plans have been prepared over all lots within Balwyn Private Estate. The design of the residence is to comply with the provisions of the applicable DAP.

The purpose of the DAPs is to guide development, including but not limited to setbacks, development frontage and vehicle access. The DAPs are adopted and administered by the City of Swan when approving your new residence.

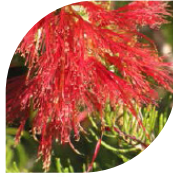
#### RESTRICTIVE COVENANT

#### 3. Approvals

*The Buyer must not construct or permit to be constructed on the Property a Residence unless:*

- 3.1 The plans and specifications have been approved by the Developer, or the Developer's nominated representative, prior to construction commencing;
- 3.2 The Residence or any other improvement to the Property comply with the Detailed Area Plan; and
- 3.3 The plans and specifications have been approved by the City of Swan.





### 2.1 Elevations

At Balwyn Private Estate we encourage elevation designs that will capture the historic rural character of the Swan Valley and contribute to a strong and consistent neighbourhood amenity across the estate. The design of your residence should also address the street in a neighbourly manner, to provide surveillance and activation.

The following Guidelines are encouraged when designing your front elevation, to assist in creating a strong architectural character for your residence and maximising opportunities for 'eyes on the street' surveillance:

- Front elevations should not contain large areas of blank unarticulated wall
- Windows addressing the street should use appropriate proportions to balance with the front door and garage and break up large featureless walls
- Front elevations should include eaves with a minimum depth of 450mm
- Providing a veranda, portico or porch will achieve an open and welcoming entry for your residence and will also provide an area for passive activities
- Front elevations should include at least two of the following; gable, roof gablet, bay window, portico, veranda, balcony, timber cladding, painted weatherboard profile cladding, projecting sill, sill course or masonry corbels.
- The front elevation of your residence must include at least two different colours and/or materials.

### 2.2 Corner Lots

Residences on corner lots should be designed so that the secondary street elevation presents the same design qualities and character as the primary street elevation. The secondary street elevation should incorporate materials and features that reflect the amenity of your front elevation. Both elevations should offer passive surveillance opportunities and create a safe, attractive and well-articulated streetscape.

An increased landscape rebate of \$4500 will be payable by the Developer in respect to corner lots if a residence is constructed to practical completion within eighteen months of the settlement date.

#### RESTRICTIVE COVENANT

##### 4. Dwelling Elevation

*The Buyer must not construct or permit to be constructed on the Property a Residence unless:*

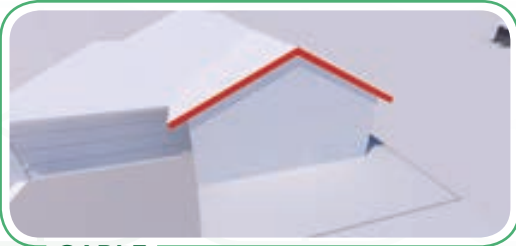
- 4.1 The primary street facing elevation includes at least two (2) different colours and/or materials; and
- 4.2 The primary street facing elevation includes eaves, with a minimum depth of 450 millimetres, and at least two of the following structural features:
  - I. A gable;
  - II. A roof gablet;
  - III. A bay window;
  - IV. A portico with a minimum width of 2.0 metres;
  - V. A veranda with a minimum depth of 2.0 metres;
  - VI. A balcony with a minimum depth of 1.5 metres;
  - VII. Timber cladding;
  - VIII. Painted weatherboard profile cladding;
  - IX. Projecting sill;
  - X. Sill course; or
  - XI. Masonry corbels; or
  - XII. One other structural feature that is consistent with the features in this clause 4.2 and is reasonably consistent with the amenity of the Lot and the adjacent lots and is approved by the Developer.

#### RESTRICTIVE COVENANT

##### 5. Corner Lots

*Where the Property is located on the corner of two roads, the Buyer must not construct or permit to be constructed on the Property a Residence unless:*

- 5.1 The secondary street elevation matches the primary street elevation in terms of colours, materials, openings and roof design for a minimum of 4.0 metres from the truncation of the corner of the Property;
- 5.2 The secondary street elevation has at least one habitable room major opening with an unobstructed view of the secondary street boundary; and
- 5.3 The secondary street side boundary fencing finishes at least 4.0 metres from the truncation of the corner of the Property.



GABLE



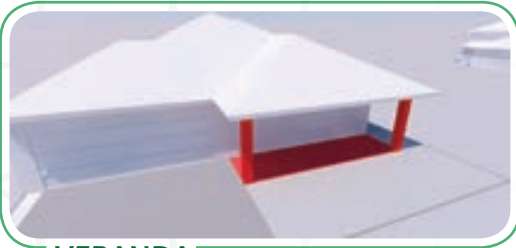
ROOF GABLET



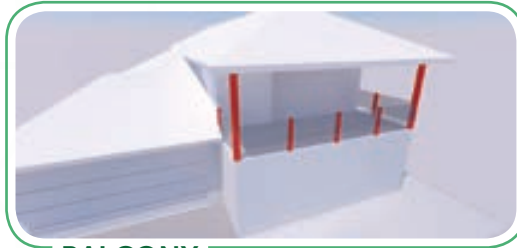
MASONRY CORBELS



PORTICO



VERANDA



BALCONY



PROJECTING SILL



SILL COURSE



### 2.3 Roof

Careful consideration should be applied when designing your roof and selecting materials, as the finished product will become a significant element of the architectural character of your residence. Your roof, if designed effectively, has the potential to provide shade and improve the energy efficiency of your residence.

We encourage that you follow the below Guidelines when designing your roof:

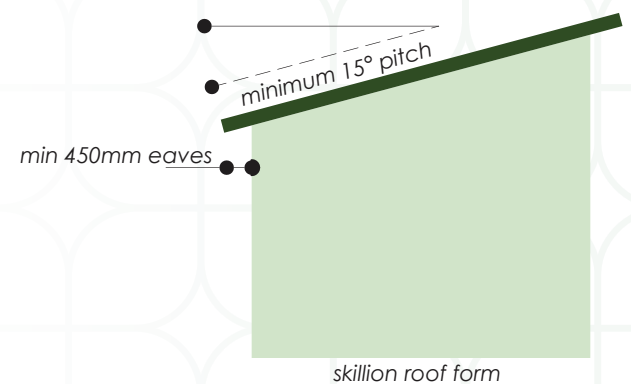
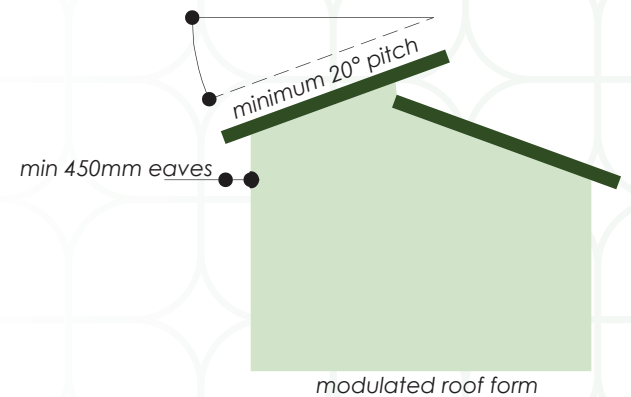
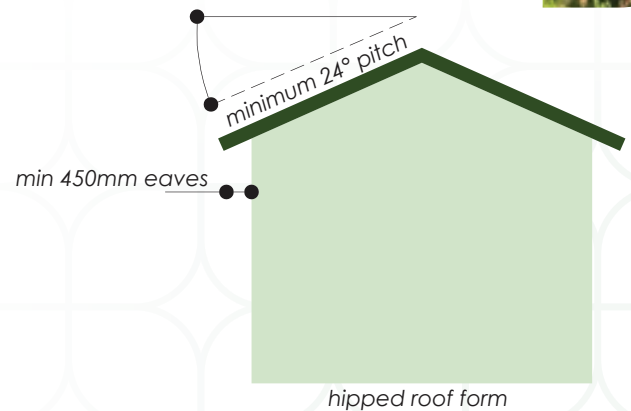
- Your roof design should be simple and uncluttered
- Verandas, porticos, porches and other secondary structures should be constructed of the same material as the main roof of your residence
- Eaves with a minimum depth of 450mm should be provided to all roofs, for shade and articulation, except where a boundary or parapet wall is proposed
- The roof should be light in colour to complement the residence and increase thermal efficiency
- Dark roof colours are discouraged as they do not reflect heat away from your residence

#### RESTRICTIVE COVENANT

##### 7. Roofs

*The Buyer must not construct or permit to be constructed on the Property a Residence unless:*

- 7.1 The roof is pitched at an angle greater than 20 degrees for a modulated roof form;
- 7.2 The roof is pitched at an angle greater than 24 degrees for a single roof form;
- 7.3 the roof is pitches at an angle greater than 15 degrees for a skillion roof
- 7.4 The roof is constructed of clay or concrete tiles or custom orb metal deck sheeting and is not constructed from zinalume; and
- 7.5 The roof is not constructed from any material that is black in colour, including but not limited to colours that are consistent with Aniseed, Artist's Ink, Astral, Barramundi, Black, Charcoal, Ebony, Eclipse, Galaxy, Granite, Graphite, Jet Stone, Meteor, Monument, Night Sky, Onyx, Rhino, Sambuca, Shale, Slate, Tapenade or Titanium shades.





### 2.4 Garages

The impact of your garage on the appearance of your residence and the overall streetscape is an important consideration when designing your residence. It is important to design your residence to have a strong and welcoming elevation, rather than an elevation dominated by a garage.

To ensure you get the best outcome and a positive amenity for both your residence and the streetscape, the following Guidelines are encouraged:

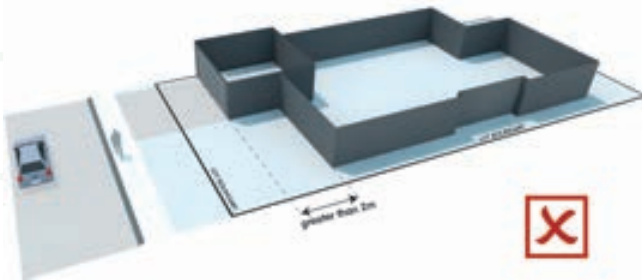
- Integrate the garage with your residence wherever possible
- The garage should take up less than 50% of the frontage of your residence
- The garage should be recessed behind the front building line wherever possible
- If the garage does sit proud of the front building line it should be less than 1.5m forward of the front building line and/or a portico or veranda should be provided in front of the main residence
- The garage should have a roof design that is similar to and complements the main residence
- The garage should be constructed of materials and colours similar to the main residence

### RESTRICTIVE COVENANT

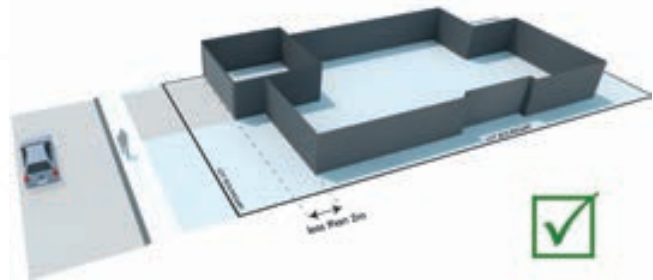
#### 8. Carports and Garages

*The Buyer must not construct or permit to be constructed on the Property a Residence unless:*

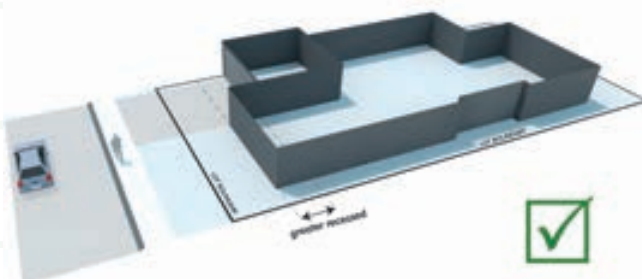
- 8.1 There is a double garage capable of housing two cars (carports are not permitted);
- 8.2 The garage is similar and complementary to the Residence in terms of the roof pitch, materials used, design, colour and external appearance;
- 8.3 The garage does not protrude more than 1.5 metres forward of the front building line of the Residence; and
- 8.4 The garage has a front setback of at least 4.5 metres or as otherwise stated on a Detailed Area Plan.



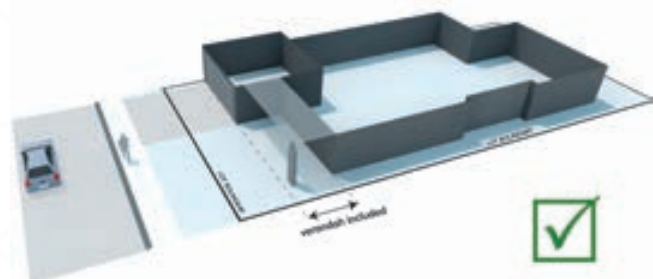
Garage is proud by more than 2 metres



Garage is proud by less than 2 metres



Garage is recessed



Garage is proud but a verandah/portico is provided



### 2.5 Materials and Colours

At Balwyn Private Estate we want to create a neighbourhood environment that is reminiscent of the rural character of the surrounding Swan Valley region, whilst also paying homage to the beautiful retained natural vegetation. By following the below guidance you will achieve a high quality finish for your residence, plus your residence will complement the character of Balwyn Private Estate.

To ensure we get an aesthetic that is consistent across Balwyn Private Estate, the following material and colour treatments are encouraged for your residence:

- A palette of materials and colours has been selected for external use at Balwyn Private Estate. These colours reflect both the natural and rural environments of the site and the greater Swan Valley region. It is recommended that external finishes be selected from this palette.
- Material and colour selections should respond to the individual plan and elevation details of your residence, with contrasting or feature finishes located to provide definition for your residence.
- Light colours are encouraged for solar efficiency, whilst dark colours should be used as a highlight feature only.

#### BRICK COLOURS



#### RENDERED MASONRY COLOURS



#### FEATURE MATERIALS



Bagged Brickwork   Narrow Bricks   Architectural Bricks   Relief Brickwork   Timber Boards   Feature Glass   Limestone Blocks   Concrete   Metal Panels   Composite Panels



Rammed Earth   Weatherboard

#### FEATURE COLOURS



#### COLORBOND ROOF COLOURS



Dune   Paperbark   Classic Cream   Evening Haze   Surfmist   Shale Grey



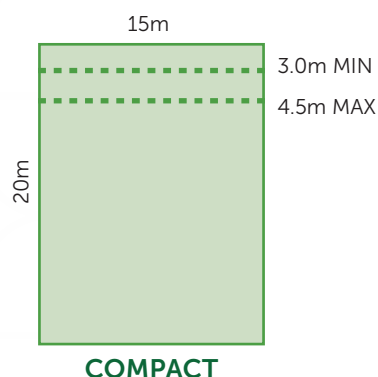
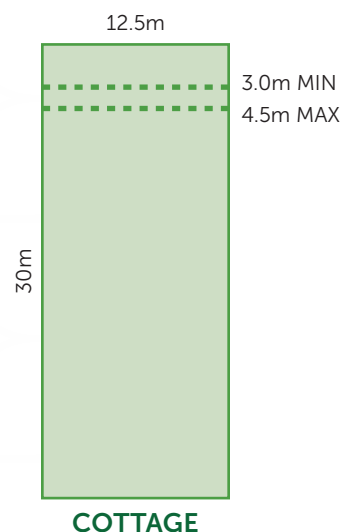
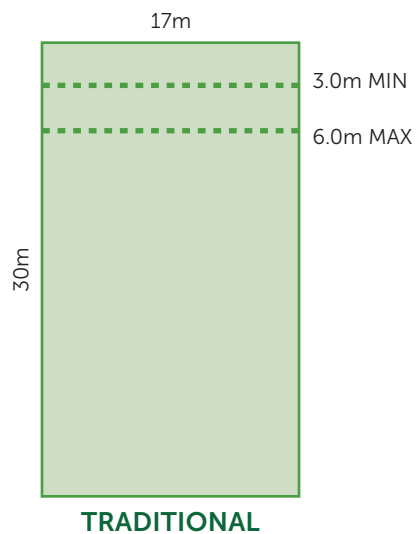
### 3.1 Setbacks

The front setback distance for your residence is the distance between the most forward part of your residence and the front boundary of your property. By applying consistent setbacks throughout Balwyn Private Estate we will be able to create attractive streetscapes that also provide sufficient front yard space for landscaping and community interaction, opportunities for passive surveillance and safer street environments.

Setbacks for your residence are generally controlled by the City of Swan with reference to the standards of the Residential Design Codes and Detailed Area Plans. To create a design that is responsive to the site-specific characteristics of your property and maximises the opportunities contained within these documents, it is recommended that your designer is familiar with their content.

The following Guidelines apply to the front setback of your residence:

- Setbacks should be in accordance with the Residential Design Codes and the Detailed Area Plan
- Front setbacks for Traditional Lots are a minimum of 3.0 metres and a maximum of 6.0 metres (refer to applicable Detailed Area Plan)
- Front setbacks for Cottage Lots are a minimum of 3.0 metres and a maximum of 4.5 metres (refer to applicable Detailed Area Plan)
- Front setbacks for Compact Lots are a minimum of 2.0 metres and a maximum of 4.0 metres (refer to applicable Detailed Area Plan)
- Where located at the front of the lot, garages should be setback a minimum of 4.5 metres, should not protrude in front of the residence more than 1.5 metres and should be positioned to avoid dominating the front elevation
- The setback to the portion of your residence facing north should provide adequate access to natural sunlight
- The purpose of the DAPs is to guide development, including but not limited to setbacks, development frontage and vehicle access. The DAPs are adopted and administered by the City of Swan when approving your new residence.





### 3.2 Outdoor Living Areas

Given the importance of the outdoors in Western Australian lifestyles, providing an outdoor living area or courtyard can enhance the useability of your residence. By connecting your outdoor living area or courtyard to your main living space, you can increase the size and feel of the space, as well as improve the light and ventilation of the room.

When designing your residence, the following Guidelines should be considered for your outdoor living area:

- Outdoor living areas should be in accordance with the Residential Design Codes and Detailed Area Plan
- Outdoor living areas should be located to the north (where possible) to gain access to natural sunlight
- Outdoor living areas should be located off a main living area to make sure your outdoor living area is easily accessible
- Fixed or moveable shade structures should be provided for protection from the elements and to increase the useability of the space

### 3.3 Laneways

For lots with a laneway abutting the rear boundary of the property, vehicle access should be from that laneway. If your residence is located on a laneway lot, the following Guidelines should be considered when designing your residence.

- A pedestrian entry gate must be provided to allow access off the laneway into the rear garden/house
- The primary elevation of your residence should overlook the adjoining street or park, not the laneway
- The laneway elevation should utilise materials, colours and forms similar and complementary to the rest of the residence
- Vehicle access is to be solely from the laneway
- The garage may extend across the majority of the laneway elevation
- The garage door must not overhang into the laneway when opened or closed
- Providing an upper floor elevation with a major opening overlooking the laneway is desirable, to provide opportunities for passive surveillance of the laneway

### 3.4 Driveways

Driveways are a key element in the front elevation of your residence. If designed correctly, your driveway has the potential to have a positive impact on the welcoming effect for visitors to your residence.

To ensure your driveway complements your residence and garage, and contributes to a high quality amenity for your front elevation, the following Guidelines should be adhered to when designing your residence:

- The driveway should be no less than 4.0 metres in width;
- The driveway should be no more than 6.0 metres in width; and
- Driveways should be constructed from brick paving, liquid limestone or exposed aggregate concrete

It is important that your driveway is complete prior to occupation of your residence, to make sure that your front elevation is free from hazard and provides a positive contribution to the streetscape and the neighbourhood.

#### RESTRICTIVE COVENANT

##### 6. Laneways

*Where the rear boundary of the Property is abutting a laneway, the Buyer must not construct or permit to be constructed on the Property a Residence unless:*

- 6.1 There is a pedestrian entry gate provided off the laneway to provide access to the house and/or garden from that rear laneway;
- 6.2 The primary elevation of the Residence is oriented towards the adjoining street or park, not the laneway; and
- 6.3 The rear laneway elevation matches the primary elevation of the Residence in terms of materials, colours and openings.

#### RESTRICTIVE COVENANT

##### 9. Driveways

*The Buyer must not construct or permit to be constructed on the Property a Residence unless:*

- 9.1 The driveway has a minimum width of 4.0 metres and a maximum width of 6.0 metres;
- 9.2 The driveway is no less than 0.6 metres from any side boundary;
- 9.3 The driveway is constructed from brick paving, liquid limestone or exposed aggregate concrete and is not constructed from grey, painted or in situ concrete; and
- 9.4 The driveway is completed prior to Occupation of the Residence.



## 3.0 OUTSIDE YOUR RESIDENCE

### 3.5 Fencing and Letterboxes

The fencing around your residence is an important feature, as the finished product will frame your residence and outdoor spaces.

To help create a streetscape that is friendly, open and safe, and allows for passive surveillance of the street, installing front fences is discouraged for all lots within Balwyn Private Estate. Lots that have access from a rear laneway and/or front directly onto a park will have a visually permeable front fence provided by the Developer.

The installation of your letterbox and all side and rear boundary fencing must comply with the Restrictive Covenants. Purchasers of laneway lots will be advised separately of any requirements regarding the placement of their letterbox.

Modifications to any retaining wall or fence provided by the Development are not allowed unless for maintenance or as otherwise approved by the Developer or their nominated representative.

#### RESTRICTIVE COVENANT

#### 10. Fencing

10.1 The Buyer must not construct or permit to be constructed on the Property a Residence unless:

- 10.1.1 The side and rear boundary fencing is constructed from capped Colorbond in 'Gully' shade;
- 10.1.2 The side and rear boundary fencing is at least 1.8 metres in height;
- 10.1.3 The side and rear boundary fencing does not extend forward of the front building line of the Residence, or as otherwise permitted by the Developer in writing;
- 10.1.4 If permitted by the Developer, any fence forward of the front building line must be no higher than 1.2 metres in height and visually permeable; and
- 10.1.5 Any side or rear boundary gate is constructed of a material and colour that is complementary to the side and rear boundary fence.

10.2 In relation to a fence on the boundary of the Property constructed by the Developer or a party on the Developer's behalf, the Buyer must not:

- 10.2.1 Alter or remove the fence except as required to repair or replace the fence because of damage or wear and tear; and
- 10.2.2 Repair or renew the fence with any materials that are not of the same nature, quality and standard as the original materials used.

#### 13. Dwelling Appearance

*The Buyer must not permit:*

13.3 Any letterbox to be installed or constructed on the Property unless it is located adjacent to the driveway, is clearly numbered and is constructed from materials similar and complementary to the residence.

### 3.6 Levels and Retaining Walls

There are limitations controlling the amount of change that can take place regarding the lot levels and any retaining walls at your Property. These controls are written into the Restrictive Covenants and exist to protect both the amenity and the structural integrity your Property.

#### RESTRICTIVE COVENANT

#### 15. Ground Levels and Retaining Walls

15.1 The Buyer must not change the average finished ground level of the Property by more than 300 millimetres from the original median finished ground level of the Property, unless otherwise stated by the Developer in writing. This restriction does not apply in relation to activities requiring temporary excavation works such as landscaping or installing a swimming pool or spa bath.

15.2 The Buyer must not paint, alter or remove or in any way interfere with the structural integrity of any retaining wall erected on the boundary of the Property, provided that it does not prevent the undertaking of any works or repairs to the retaining wall where necessary to maintain its structural integrity or its condition or where required by the City of Swan.



### 3.7 Ancillary Structures [Air Conditioners, Solar Hot Water Units, Sheds, Clothes lines, etc]

#### Air Conditioners

*All roof mounted air-conditioning equipment and/or split system compressor units must be:*

- Installed below the ridgeline of the roof and obscured from public view
- Finished in a similar colour to the roof
- Located to minimise noise impact on neighbouring properties

#### Solar Hot Water Units and PV Panels

*The provision of solar hot water units and/or photovoltaic panels is encouraged, in line with sustainable design principles. All solar hot water units and/or photovoltaic panels that are installed at your residence must be:*

- Integrated with the roof profile of the residence
- Positioned to minimise visibility from public areas

#### Sheds and Outbuildings

Any shed, storeroom, outbuilding or other detached structure must be constructed in materials and colours that are similar to and complement the appearance of your residence.

#### Communications Equipment

Any satellite dish, TV antennae or radio mast that are installed at the residence must not be visible above the roofline when viewed from any public street or public park.

#### Clothes Drying

All clothes drying areas must be located away from public areas and screened from the view of public streets, rear laneways and public parks.

#### RESTRICTIVE COVENANT

##### 13. Dwelling Appearance

*The Buyer must not permit:*

- 13.1 Any air-conditioner to be installed unless it is below the ridgeline of the roof, matches the colour of the roof, is obscured from Public View and is located to minimise noise impact on neighbouring properties;
- 13.4 Any air conditioner, solar hot water unit or other machinery or equipment to be installed on the front roof hip or fascia;

#### RESTRICTIVE COVENANT

##### 13. Dwelling Appearance

*The Buyer must not permit:*

- 13.2 Any solar hot water unit or photovoltaic panels to be installed unless they are integrated with and match the roof profile of the Residence;
- 13.4 Any air conditioner, solar hot water unit or other machinery or equipment to be installed on the front roof hip or fascia;

#### RESTRICTIVE COVENANT

##### 11. Sheds and Outbuildings

*The Buyer must not construct or permit to be constructed on the Property any Residence unless:*

- 11.1 Any shed or outbuilding is less than 12m<sup>2</sup> in floor area and is less than 2 metres in height, or as otherwise permitted by the Developer in writing;
- 11.2 Any shed or outbuilding is constructed from materials and colours similar and complementary to the Residence; and
- 11.3 Any shed or outbuilding is constructed behind the front building line of the Residence and is screened from Public View.

#### RESTRICTIVE COVENANT

##### 13. Dwelling Appearance

*The Buyer must not permit:*

- 13.5 Any television antennae, satellite dish and/or radio mast to be visible above the roofline from Public View;

#### RESTRICTIVE COVENANT

##### 13. Dwelling Appearance

*The Buyer must not permit:*

- 13.13 Any clothes drying area unless it is behind the front building line of the Residence and screened from Public View.



## 4.0 GENERAL APPEARANCE

### 4.1 Streetscape Protection

#### Bins

When your residence is being built, you or your builder must make sure that a large waste bin is placed on your property to ensure all rubbish and waste materials are appropriately stored on-site and disposed of properly.

Once the construction of your residence has been completed and you have moved in, general rubbish and recycling bins must be stored on your property so that they are screened from the view of public areas, except of collection days.

#### Vehicles

To protect the amenity of your streetscape, the parking of any boat, caravan, trailer or commercial vehicle is not allowed forward of the front building line, unless it is associated with the provision of a temporary service or is screened from view from a public area.

In addition, the repair, restoration or maintenance of any motor vehicle, boat or any other vehicle or machine will not be permitted unless it occurs behind the front building line of your residence and is screened from view from a public area.

#### Signage

To avoid proliferation of signage within your streetscape, no signage is permitted other than a builder's sign during the construction of your residence or a 'For Sale' sign after the residence becomes habitable.

#### Lighting

Any external lighting installed at your residence should have consideration for your neighbours and therefore be positioned to avoid glare onto neighbouring properties.

If movement sensors are a preference, it is recommended that they be installed in a manner that will avoid them being activated by movement outside the property.

### 4.2 Animals/Pets

#### RESTRICTIVE COVENANT

#### 16. Domestic Pets/Animals

16.1 The Buyer must not permit any insects, reptiles, animals, livestock or poultry to be raised, bred or kept on the Property provided that this restriction shall not prevent the Buyer from keeping up to four domestic pets on the Property.

#### RESTRICTIVE COVENANT

#### 14. Waste Management

- 14.1 The Buyer must not construct or permit to be constructed on the Property a Residence unless a large waste bin is placed on the Property during construction to dispose of all waste materials
- 14.2 The Buyer must not permit any rubbish disposal containers (i.e. bins) on the Property to be in Public View except on allocated collection days.

#### RESTRICTIVE COVENANT

#### 13. Dwelling Appearance

*The Buyer must not permit:*

- 13.6 Any motor vehicle, boat, boat trailer, or any other vehicle, or any other machine to be repaired or maintained on the Property unless it occurs behind the front building line of the Residence and is screened from Public View;
- 13.7 Any boat, caravan, trailer or commercial vehicle, including trucks, buses and tractors, to be parked on the Property unless screened from Public View;

#### RESTRICTIVE COVENANT

#### 13. Dwelling Appearance

*The Buyer must not permit:*

- 13.8 Any signage or advertisements to be erected or displayed on the Property unless it is a builder's sign during the period of construction or a real estate agent sign associated with the sale of a completed residence;



## 5.1 Landscaping Rebate

A landscape rebate will be available to each purchaser at Balwyn Private Estate, to help you provide a front landscape that will enhance the visual quality of your residence and help to create an attractive streetscape. To qualify for the rebate, you must comply with the terms outlined in these Guidelines and the Balwyn Private Estate Restrictive Covenants.

A selection of front landscape packages have been carefully designed by a landscape architect to match the theme of the Estate, whilst also allowing for unique character and variation to come through. Each landscape package has been tailored to a particular lot type in order to utilise your front yard space to its maximum potential, whilst also creating a safe and useable space for your family.

### RESTRICTIVE COVENANT

## 12. Landscaping

12.1 The front landscape of the Residence shall comply with the following:

- 12.1.1 All ground areas that are within Public View at the front of the Residence, including the verge and street tree, must be established;
- 12.1.2 All soft landscaping areas shall support at least 75% non-weedy, vegetative cover and all garden beds to be mulched to a depth of 75 millimetres;
- 12.1.3 All front paved areas complete and free from trip hazards; and
- 12.1.4 A street tree shall be provided that is at least 30 litres in pot-size, consistent with the Balwyn Private Estate Street Tree Master Plan and serviced by automated irrigation using the Property's water supply.

12.2 The Buyer may claim, from the Developer, a rebate to the value of \$3,500 (and \$4,500 in the case of corner lots) to contribute towards the provision of the front landscape, subject to the following criteria being satisfied:

- 12.2.1 The Residence being completed within eighteen months of the Date of Settlement;
- 12.2.2 The front landscape outlined under Item 12.1 being completed within three months of the completion of the Residence;
- 12.2.3 A portion of the rebate contributing to the provision of a street tree in accordance with Item 12.1.4;
- 12.2.4 The rebate must not contribute to the construction/installation of the driveway. This cost is the responsibility of the Buyer; and
- 12.2.5 The Buyer(s) of corner lots may receive a rebate to the value of \$4,500 to contribute to the provision of two street trees, in accordance with the Balwyn Private Estate Street Tree Master Plan.

## 5.2 Fencing Rebate

A fencing rebate will be available to each owner at Balwyn Private Estate to maintain the high standards of the Estate and to ensure that all side and rear boundary fencing is consistent and integrated throughout the Estate. To qualify for the rebate, the fencing you install must comply with the terms outlined in these Guidelines and the Balwyn Private Estate Restrictive Covenants.

### RESTRICTIVE COVENANT

## 10. Fencing

10.1 The Buyer must not construct or permit to be constructed on the Property a Residence unless:

- 10.1.1 The side and rear boundary fencing is constructed from capped Colorbond in 'Gully' shade;
- 10.1.2 The side and rear boundary fencing is at least 1.8 metres in height;
- 10.1.3 The side and rear boundary fencing does not extend forward of the front building line of the Residence, or as otherwise permitted by the Developer in writing;
- 10.1.4 If permitted by the Developer, any fence forward of the front building line must be no higher than 1.2 metres in height and visually permeable; and
- 10.1.5 Any side or rear boundary gate is constructed of a material and colour that is complementary to the side and rear boundary fence.

10.2 In relation to a fence on the boundary of the Property constructed by the Developer or a party on the Developer's behalf, the Buyer must not:

- 10.2.1 Alter or remove the fence except as required to repair or replace the fence because of damage or wear and tear; and
- 10.2.2 Repair or renew the fence with any materials that are not of the same nature, quality and standard as the original materials used.

10.3 The Developer will pay the cost of providing side and rear boundary fencing, subject to the following criteria being satisfied:

- 10.3.1 The construction of the Residence being completed within eighteen months of the Date of Settlement; and
- 10.3.2 The side and rear boundary fencing being installed within six weeks of the Occupation of the Residence.





### 5.3 Garden Design Principles

Retained bushland and native tree canopies lend an air of established natural character to Balwyn Private Estate. The link back to nature for families moving to this area is well catered for and will make the residents feel they are part of the Swan Valley's sense of place.

The visual integration of private gardens to public parkland and similarly private garden to streetscape, along with the quality of these landscapes, significantly contributes to the overall aesthetic of the estate.

Maintaining the 'Balwyn' character throughout the estate; along the entry road, within the parks and throughout the front gardens, will develop a harmonious neighbourhood feel, establish a strong set of natural values for its residents.

Please consider the principles below before consulting with a landscape designer on your front landscaping package;

- Maintain visual connections to the street for passive surveillance and neighbourhood security,
- Integrate your front garden with the streetscape to visually 'borrow' the verge landscape area,
- Use materials sympathetic to the Balwyn Private Estate Materials Palette (2.5 - Materials and Colour) to maintain an integrated neighbourhood feel and appearance,
- Use planting to frame or call attention to architectural features of your home,
- Use planting design to passively cool your home by funnelling cooling breezes, filtering strong winds, providing shade and blocking heat where appropriate,
- Plant rear and side boundaries to assist with privacy and create a well define edge between lot boundaries,
- Group plants with similar water requirements,
- Have a qualified landscape or irrigation contractor design and install you irrigation package, ask about rain sensors and programming to reduce your water use,
- Choose plants that complement your maintenance capacity, and
- Regularly mulch garden beds to reduce water evaporation, suppress weeds and prevent bare patches.

### 5.4 Landscape Packages

Whether you are planning to create a cottage, native or a contemporary front garden the Balwyn Private Estate Front Landscape Package has been created to assist you in designing your new front garden. It should be seen as a guide which should inspire you or alternately to use as a base to develop further in association with the colours and textures of your home.

The four designs provide alternate options suited to different sized lots and feature complimentary species lists. This guide has been developed to provide inspiration and direction; however it is highly recommended that you consult irrigation, landscape or nursery professionals when creating your garden to ensure your garden bests suits your lifestyle.

As outlined in the preceding sections, the front gardens should follow the requirements of the Restrictive Covenants for Landscaping, as seen in these Guidelines, in order to qualify for the \$3,500 rebate.





## 5.5 Waterwise Design

### Key Principles:

**Soil Improver** - Perth's sandy soils can be problematic for gardeners, being devoid of nutrients and having a reduced water holding capacity. Regardless of whether you plant native or exotic species some soil preparation is required to get our sandy soils ready to support a garden. This preparation at the start will lead to reduced maintenance and a higher success rate in your garden. It is recommended that you use a soil improver, like organic matter or clay, speak to your landscape contractor or nursery about the right type for your garden.

**Hydrozoning** - Grouping plants with similar water needs together will not only save water and money but it increases the plants prosperity; as it only competes with other similar water requirement species and allowing you to tailor your irrigation system.

**Irrigation** - Water is the most valuable resource in the garden and wasting it will be at a cost. Hydrozoning and a considered plant choice will assist you in designing an irrigation system that delivers the right amount of water to the right places. An electronic controlled irrigation system might seem an expense compared to hand watering however if programed correctly it can deliver water at the right time (early mornings is best) decreasing the loss of evaporation and saving you time.

**Mulching** - Mulch is not just a seasonal product to reduce evaporation in summer it also assists in temperature fluctuation of the soil (in winter as well as in summer), preventing soil erosion and reducing weeds.

### Other Key Tips:

- Consider your plant choices; although natives and local species are great not every native plant is suitable for residential gardens. Depending on the size of lot and style of your garden there are a number of native and non-native plants that will enable you to achieve interest and colour throughout the year,
- The positioning of plants in your garden can also help with the heating and cooling of your home; shielding prevailing winds and summer sun will help reduce/increase the heat load on your home,
- Lawns use a considerable amount of water and maintenance so limit your turfed area to where it will be actively used and consider shrubs or lawn alternative groundcovers where not required,
- Re-consider the installation of a water features, evaporation means they often use a lot of water and they can require significant and costly maintenance,
- Paved areas should direct rainwater run-off into planted zones making the most of the water that falls on your lot,
- Rainwater tanks and Grey Water Recycling Systems are a great way to recycle the water you receive to nourish your garden, and
- Speak to your local nursery or landscape contractor to find out what is the best plants for your garden, consider shade, soil type, surrounding treatments and the amount of maintenance you want to give it.

A waterwise garden will not only reward homeowners in the long term but in the short term too with Government rebates available for new homes who use waterwise initiatives. Please note that the rebate program is subject to continuing review resulting in products intermittently being added or removed. For more information regarding this and other waterwise tips visit the Water Corporation's website at <http://www.watercorporation.com.au>

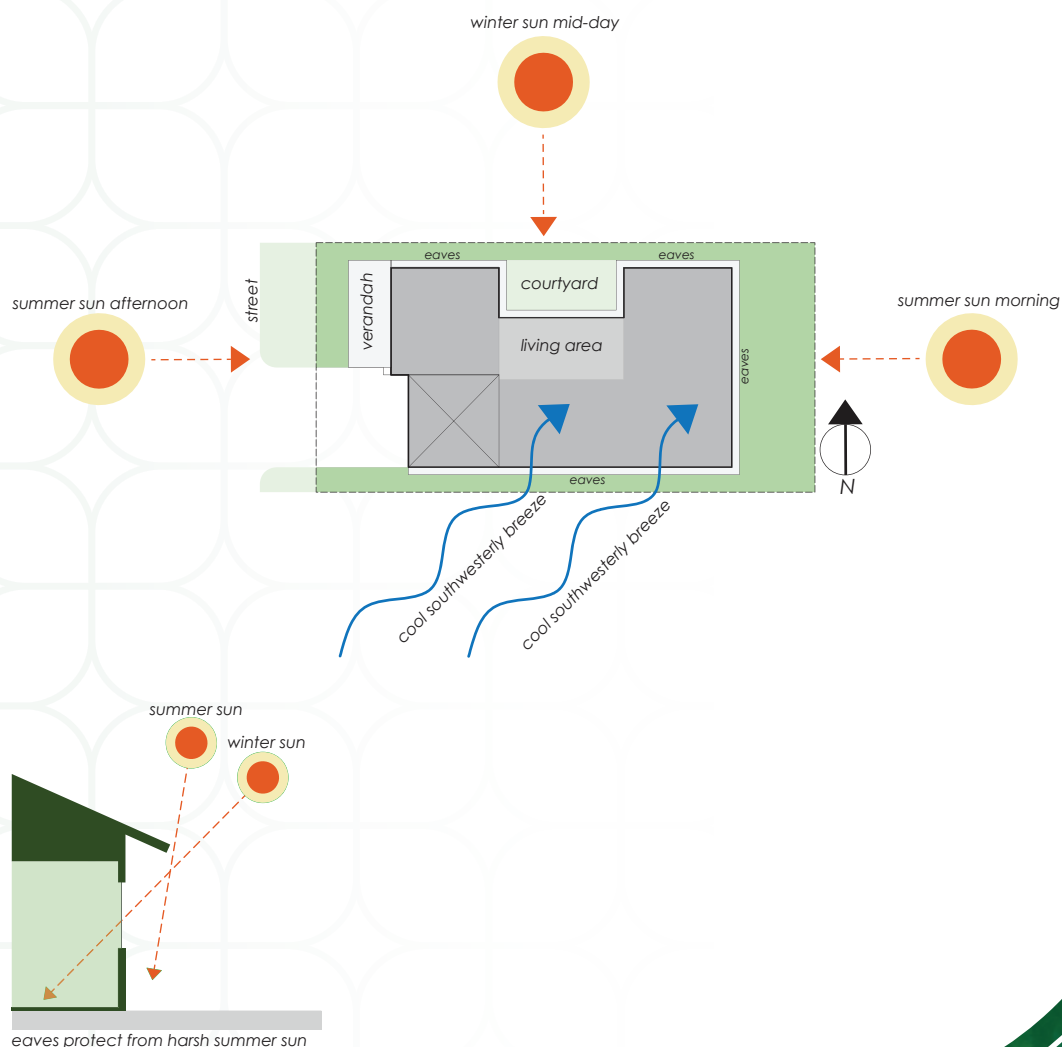


### 6.1 Climate Responsive Design

Ideally, your residence should manage the opportunities and constraints of the local climate to take full advantage of natural heating and cooling systems. Energy efficient design can make the most of the sun in winter and minimise its impact in summer to enhance the comfort of your residence, rather than relying on mechanical systems.

Designing your residence to work with the local climate will reduce utility costs and have a long term benefit for the environment. For energy efficient design principles to have a positive effect on your residence, the follow Guidelines should be followed:

- All lots should have outdoor living areas/courtyards located to the north of the property to take full advantage of winter sunlight
- Where possible, garages should be placed in an eastern or western location to aid in blocking out harsh summer sun
- At least one major opening from a main living area should face north
- West facing windows should be shaded with a combination of eaves, verandas or awnings to protect against summer sunlight but allow winter sunlight to warm your residence
- All residences should include eaves, with a minimum depth of 450mm, to maximise shade opportunities
- Laundries and bathrooms and some bedrooms should be located on the south side of the lot, as access to sunlight is less necessary for these spaces
- South facing windows are ideal to assist in natural ventilation, as opening the windows in the afternoon will allow hot air to escape and encourage internal air movement through the residence.







#### Contact

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*The houses shown are from Dale Alcock's product range and are for demonstration purposes only.*