



An acoustic fence is to be constructed at the developers cost on the rear boundaries of lots 4000-4010 (inclusive) and cannot subsequently be reduced in height.

LEGEND			
	EXISTING LOT BOUNDARIES		PRIMARY DWELLING ORIENTATION
	SUBJECT LOT BOUNDARY		LOT TYPE (REFER TO TABLE)
	DESIGNATED GARAGE LOCATION		DENSITY CODING
	NO VEHICLE ACCESS		DWELLING SETBACKS
			GARAGE SETBACKS
			OVERHEAD POWERLINE EASEMENT
			ACOUSTIC FENCE
			SIDE ENTRY PIT
			PRAM RAMP

DETAILED AREA PLAN R-CODE VARIATIONS

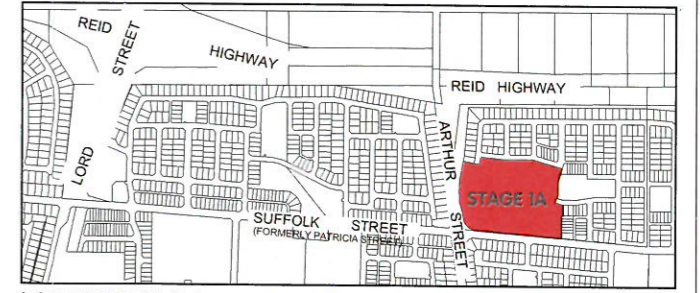
All buildings (as defined in the R-Codes) are to be allocated within the designated building envelopes. Local Planning Scheme No. 17 and R-Codes are varied in the following manner:

- The requirements of the R-Codes are varied as shown on the Detailed Area Plan.
- The requirements of the R-Codes and Local Planning Scheme No. 17 shall be satisfied in all other matters.
- Consultation with adjoining or other landowners to achieve a variation of the R-Codes, in accordance with the approved Detailed Area Plan, is not required.
- A veranda (subject to the Building Code of Australia) may project not more than 1 metre into the front setback area or setback area adjoining public open space.
- Minor variations to the requirements of the Residential Design Codes and this DAP may be approved by the City of Swan.

NOTIFICATION
The subject lots are situated in the vicinity of a major transport corridor. Residential amenity may be affected by noise from current or future traffic activity within this corridor. As a result, there may be a need to incorporate appropriate features in the design and construction of buildings to mitigate against any noise impacts, with special consideration given to noise attenuation measures for two storey dwellings.

LOT TYPES

- A** • 3.0m min - 6.0m max main dwelling front setback.
• 4.5m min garage front setback.
• 45% min open space coverage.
- B** • 2.0m min - 4.0m max main dwelling front setback.
• 4.5m min garage front setback.
• 1.0m min side setback to secondary street (walls with or without major openings)
• 30% min open space coverage.
- C** • 3.0m min - 4.5m max main dwelling front setback.
• 1.0m min garage rear laneway setback.
• 1.5m min dwelling rear laneway setback.
• 40% min open space coverage.
- D** • setbacks as annotated on plan.
• 45% min open space coverage.



LOCATION PLAN ■ **SUBJECT AREA**

The development guidelines as shown have been adopted by Council and signed by the Principal Planner.

[Signature] 11/06/2014
Principal Planner/ Date
Co-ordinator Statutory Planning

CoS Ref: **DAP-248**